

GENERAL NOTES:

1. ZONING: RM (MEDIUM INTENSITY RESIDENTIAL)
2. SEWAGE DISPOSAL: COMMUNITY TREATMENT PLANT
3. 100 YEAR FLOOD ELEVATION: 14.0'
4. INUNDATION ELEV.: N/A
5. ELECTRIC CO: ENTERGY
6. GAS CO: ATMOS
7. WATER: ASCENSION WATER CO.
8. TELEPHONE: EATEL
9. ACREAGE: 20.205 ACRES
10. STREETS: 27" ASPHALTIC CONCRETE WITH CURB AND GUTTER.
11. TOTAL NO. OF LOTS: 52
12. SCHOOLS:
 - PRIMARY: DUTCHTOWN PRIMARY SCHOOL
 - MIDDLE: DUTCHTOWN MIDDLE SCHOOL
 - HIGH: DUTCHTOWN HIGH SCHOOL
13. THERE ARE NO EXISTING CURVES ON PUBLIC STREETS WITHIN ONE-FOURTH (1/4) MILE OF THE PROPOSED ENTRANCE.
14. SANITARY SEWER IS PROPOSED GRAVITY COLLECTION TO TRACT "PS" PUMP STATION SITE AND THENCE VIA FORCE MAIN TO TIE INTO THE PARISH GRAVITY SEWER ALONG LA HWY 73.
15. EXISTING SITE IS CLEARED WITH NO EXISTING STRUCTURES.
16. TYPICAL LOT DIMENSION: 65'X 160'
17. THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE INSIDE 100 YEAR FLOODPLAIN) AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR ASCENSION PARISH, LOUISIANA, COMMUNITY-PANEL NUMBER 22005 C 0040 E, DATED AUGUST 16, 2007.
18. THE HORIZONTAL POSITIONS AND GRID BEARINGS SHOWN ARE REFERENCED TO NORTH AMERICA SMART NET RTCM-2239, SITE NAME: DARROW, LA, GEOD 12A. THE HORIZONTAL POSITIONS AND GRID BEARINGS ARE REFERENCED TO THE NAD 83 DATUM AND ARE GIVEN IN VALUES CORRESPONDING TO THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE.
19. WHERE FOUND, PHYSICAL ABOVE GROUND EVIDENCE OF UTILITIES HAVE BEEN SHOWN HEREON. THE LOCATION OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES, HOWEVER, HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE CONTROLLING AGENCIES AND / OR EXTRACTED FROM RECORDS MADE AVAILABLE BY THE CONTROLLING AGENCIES. THE ACTUAL LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES MAY VARY FROM THOSE SHOWN ON THIS SURVEY. ANY REQUEST FOR UTILITY LOCATIONS SHOULD BE MADE THROUGH LOUISIANA ONE CALL, CONTACT LOUISIANA ONE CALL AT 1-800-272-3020 BEFORE DIGGING.
20. DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS A PART OF THIS SURVEY.
21. NO ATTEMPT HAS BEEN MADE BY MR ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE OWNER OR THE OWNERS REPRESENTATIVE.
22. THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY.
23. NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE LOCAL HEALTH AUTHORITY.
24. ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RUNOFF OR SEWAGE TREATMENT PLANT EFFLUENT TO AN EXISTING PARISH MAINTAINED DITCH SHALL BE CONSTRUCTED AND MAINTAINED BY THE PROPERTY OWNERS.
25. SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT.

26. ALL STRUCTURES SHALL BE CONSTRUCTED A MINIMUM OF ONE FOOT ABOVE FEMA BFE AND TOP ELEVATION OF NEAREST ADJACENT SANITARY SEWER MANHOLE ON THE SEWER COLLECTION SYSTEM SERVING THE PROPOSED STRUCTURE.

27. ONE CLASS "A" TREE MUST BE PLANTED PRIOR TO C.O. BEING ISSUED FOR EACH LOT.

28. SIDEWALK MUST BE CONSTRUCTED PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED FOR EACH LOT.

29. THE SEWER SYSTEM, INCLUDING BUT NOT LIMITED TO, ALL TREATMENT SYSTEM(S), PUMP(S), LIFT STATION(S), COLLECTION LINES TO THE SYSTEM, BOTH ONSITE AND OFFSITE, AND THE USER OF SAID IMPROVEMENTS ARE HEREBY DEDICATED TO THE PARISH OF ASCENSION.

30. ALL LOTS SHOWN HEREON ARE SUBJECT TO THE CODES, COVENANTS, & RESTRICTIONS FOR THE SUBDIVISION FILED AS AN ADJUNCT TO THIS MAP AND MADE APART HEREOF.

LEGEND:

- PROPERTY LINE
- - - BUILDING LINE
- - - SERVITUDE
- PROPERTY CORNER FOUND
- ⊥ SET 1/2" IP

REFERENCE BEARING: *S81°58'47"E

NORTH PROPERTY LINE OF TRACT "B-1"

ZONING:

ZONING FOR PROPERTY: RM (MEDIUM INTENSITY RESIDENTIAL)

SETBACKS:

- FRONT: 20' FT
- SIDE: 6' 7/8" FT (10% OF FRONTAGE)
- REAR: 20' FT
- SIDE STREET: 12.5'

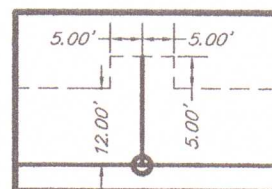
REFERENCE MAPS:

1.) MAP SHOWING SUBDIVISION OF TRACTS "A", "B", & "C" OF THE BRAUD PROPERTY INTO TRACTS "A-1", "B-1", "B-2", & "C-1" LOCATED IN SECTION 60, TOWNSHIP 9 SOUTH, RANGE 2 EAST BY MR ENGINEERING & SURVEYING DATED 3-2015. (INSTRUMENT #870322)

2.) FINAL PLAT OF HOLLOWAYS OF DUTCHTOWN, PHASE I, LOTS 1-67 (INCLUSIVE), TRACTS "B-1-A-1", "CA-1", "CA-2", "CH", & "P-1" FORMERLY BEING TRACT B-1 OF THE BRAUD PROPERTY PREPARED BY MR ENGINEERING & ASSOC. DATED: 06/2016 INSTRUMENT No.905102

PRIVATE DEDICATION:

THE COMMON AREAS "CA-3", "CA-4" & TRACT "P-2" SHOWN HEREON ARE DEDICATED FOR THE EXCLUSIVE USE AND ENJOYMENT OF THE RESIDENTS OF HOLLOWAYS OF DUTCHTOWN. ALL MAINTENANCE SHALL BE BY THE HOLLOWAYS OF DUTCHTOWN ASSOCIATION. OPN SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR UPKEEP OF THE LAKES, SHORELINE, OR ANY OTHER COMMON AREA'S.

**DETAIL:**
TYPICAL 5'X10' SEWER SERVITUDE**REFERENCE BENCHMARK:**

NORTH AMERICA SMART NET RTCM-2239
SITE NAME: DARROW, LA
GEOD: 12A

TRAFFIC IMPACT FEE NOTE:

ALL SINGLE FAMILY RESIDENCES ARE REQUIRED TO PAY A TRANSPORTATION IMPACT FEE IN ACCORDANCE WITH THE ESTABLISHED ASCENSION PARISH ORDINANCES.

SEWER IMPACT FEE NOTE:

A \$1,250.00 PER LOT SEWER DEVELOPMENT FEE SHALL BE PAID BY THE BUILDER AT THE TIME A BUILDING PERMIT IS REQUESTED.

PUBLIC DEDICATION:

THE RIGHTS-OF-WAY OF STREETS SHOWN HERE ON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC. ALL AREAS SHOWN AS SERVITUDES ARE GRANTED TO THE PUBLIC FOR THE USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL, AND OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC, NO BUILDING, STRUCTURE, OR FENCE SHALL BE CONSTRUCTED, NOR SHRUBBERY PLANTED, WITHIN THE LIMITS OF ANY SERVITUDE SO AS TO UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH SERVITUDE WAS GRANTED.

OWNER:

DAVID P. LAW
THE HOLLOWAYS OF DUTCHTOWN, LLC

APPROVED:

ASCENSION PARISH PLANNING COMMISSION

11-10-16
DATE

11/12/16
DATE

PC-6316
FILE NUMBER

BENCHMARKS:

⊕ **TBM 1:**
WEST BOLT ON CATCH BASIN ON LOTS 101 & 102
ELEV=17.79'

⊕ **TBM 2:**
WEST BOLT ON CATCH BASIN ON LOTS 117 & 118
ELEV=17.83'

SCHEDULE OF KEY NOTES:

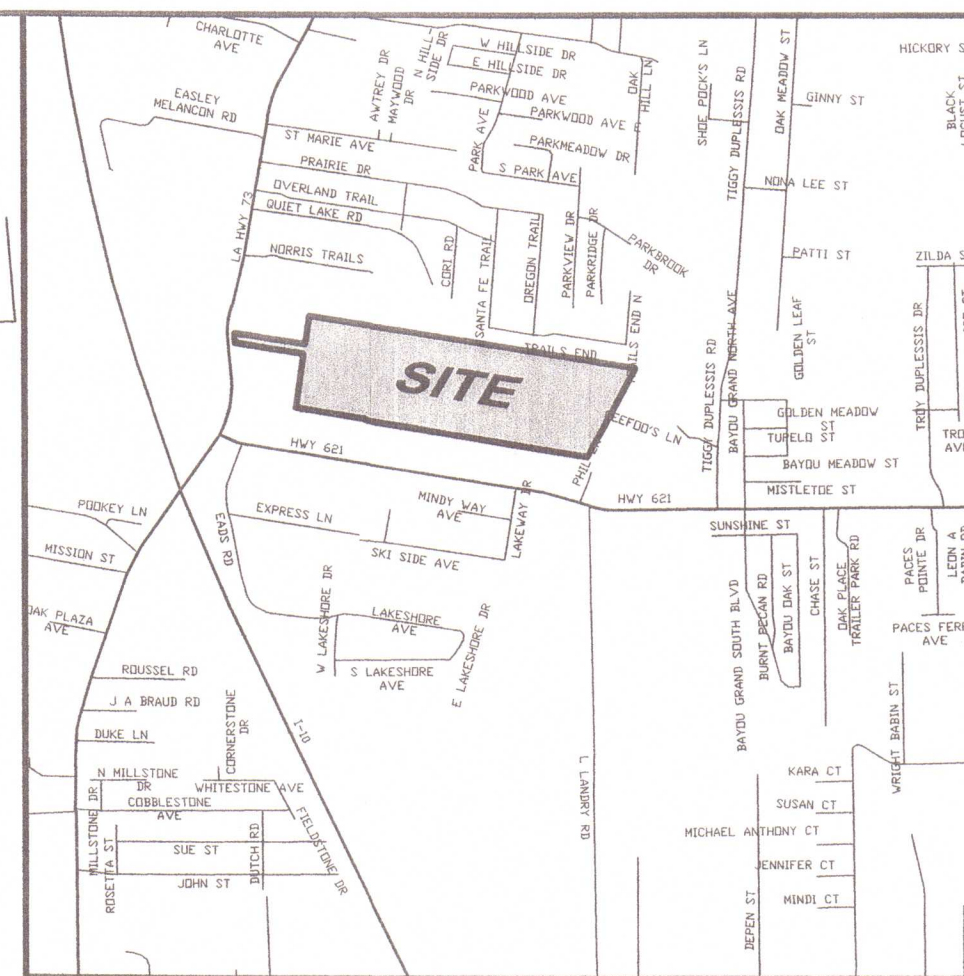
1. 15.00' PUBLIC DRAINAGE SERVITUDE
2. 16.50' PUBLIC DRAINAGE SERVITUDE (8.25' EACH SIDE)
3. 18.00' PUBLIC DRAINAGE SERVITUDE (9.00' EACH SIDE)
4. 18.50' PUBLIC DRAINAGE SERVITUDE
5. 16.75' PUBLIC DRAINAGE SERVITUDE (8.375' EACH SIDE)
6. 18.50' PUBLIC DRAINAGE SERVITUDE (9.25' EACH SIDE)
7. 17.25' PUBLIC DRAINAGE SERVITUDE (8.625' EACH SIDE)
8. 50.00' PUBLIC DRAINAGE SERVITUDE
9. 12' PUBLIC UTILITY SERVITUDE

CERTIFICATION:

I HEREBY CERTIFY THAT THE PLAT SHOWN WAS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051, ET. SEQ., AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND AND TO THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS "C1" SURVEY AS ESTABLISHED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

Mickey L. Robertson
MICKEY L. ROBERTSON, P.E., P.L.S.
MR ENGINEERING & SURVEYING, LLC

11-10-16
DATE

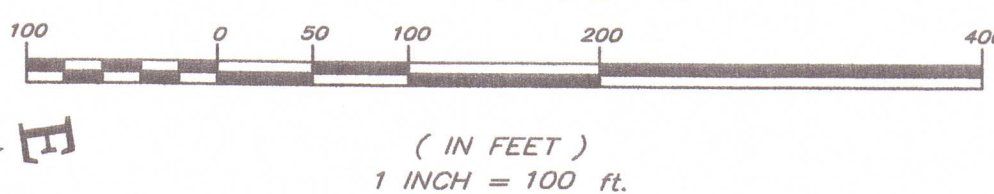
**VICINITY MAP:**

SCALE: 1"=2000'

Parcel Line Table		
Line #	Direction	Length
L1	N77°10'35"E	42.42'
L2	N36°08'19"W	63.49'
L3	S36°08'19"E	36.27'
L4	S08°28'41"W	50.10'
L5	S81°58'47"E	68.89'
L6	N49°01'59"E	20.37'
L7	S40°03'16"E	18.31'
L8	S81°24'50"E	38.45'
L9	S57°29'26"W	61.74'
L10	S81°24'50"E	118.45'
L11	N81°58'47"W	8.39'
L12	S08°35'10"W	16.50'
L13	S57°31'53"W	20.55'
L14	N81°24'50"W	40.00'

Parcel Line Table		
Line #	Direction	Length
L15	N08°35'10"E	16.50'
L16	N40°21'33"W	20.55'
L17	N81°24'50"W	32.22'
L18	S36°28'04"E	18.07'
L19	N53°31'56"E	18.11'
L20	N81°58'47"W	11.65'
L21	N08°24'53"E	9.96'
L22	S19°32'28"E	100.85'
L24	N19°32'28"W	79.91'
L25	N81°58'47"W	47.24'
L26	S32°30'34"E	27.03'
L27	N08°01'13"E	89.16'
L28	N36°08'19"W	27.22'

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Ch. Length
C1	138.00'	225.00'	35.14	S14°56'23"E	135.84'
C2	99.44'	175.00'	32.56	S16°13'54"E	98.10'
C3	160.96'	225.00'	40.99	N12°00'56"W	157.55'
C4	125.19'	175.00'	40.99	N12°00'56"W	122.54'
C5	79.51'	125.00'	36.44	S14°17'13"E	78.18'

GRAPHIC SCALE**FINAL PLAT**
OF THE**HOLLOWAYS OF DUTCHTOWN****PHASE II, LOTS 68 THRU 119 (INCLUSIVE), TRACTS "B-1-A-1", "P-2", "CA-3", & "CA-4"**

FORMERLY BEING

TRACTS B-1-A OF THE BRAUD PROPERTY

LOCATED IN

SECTION 60 T8S-R2E,
SOUTHEAST LAND DISTRICT,
ASCENSION PARISH
STATE OF LOUISIANA,

FOR

THE HOLLOWAYS OF DUTCHTOWN, LLC

P.O. BOX 83737

BATON ROUGE, LA 70879



MR ENGINEERING & SURVEYING, LLC
9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592

CAD ORIGINAL

DO NOT MODIFY
THIS DRAWING
ALL REVISIONS MUST BE MADE
TO THE CAD FILE ONLY

SCALE: 1"=100'

DATE: 11/10/2016

DRAWN: MAX

CHECKED: MLR