

**GENERAL NOTES:**

1. ZONING: RM
2. SEWAGE DISPOSAL: COMMUNITY TREATMENT PLANT (PARISH)
3. 100 YEAR FLOOD ELEVATION: 16.0'
4. INUNDATION ELEV.: N/A
5. ELECTRIC CO: ENTERGY
6. GAS CO: ATOMS
7. WATER: ASCENSION WATER CO.
8. TELEPHONE: EATEL
9. ACREAGE: 11.897 ACRES
10. STREETS: 27' ASPHALTIC CONCRETE WITH CURB AND GUTTER.
11. TOTAL NO. OF LOTS: 35
12. SCHOOLS: PRIMARY: GALVES PRIMARY MIDDLE: GALVEZ MIDDLE HIGH: ST. AMANT HIGH
13. THERE ARE NO EXISTING CURVES ON PUBLIC STREETS WITHIN ONE-FOURTH (1/4) MILE OF THE PROPOSED ENTRANCE.
14. SANITARY SEWER IS PROPOSED GRAVITY COLLECTION TO TRACT "STP" AND THENCE VIA FORCE MAIN TO TIE INTO THE HIDDEN COVE SEWER TREATMENT PLANT.
15. EXISTING SITE IS CLEARED WITH NO EXISTING STRUCTURES.
16. THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONE "A" (AREAS DETERMINED TO BE INSIDE 100 YEAR FLOODPLAIN) AND "X" (AREAS DETERMINED TO BE OUTSIDE 100 YEAR FLOODPLAIN) AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR ASCENSION PARISH, LOUISIANA, COMMUNITY-PANEL NUMBER 2200SC0045E, DATED AUGUST 16, 2007. ADJACENT BASE FLOOD ELEVATION = 16.0'
17. THE HORIZONTAL POSITIONS AND GRID BEARINGS SHOWN ARE REFERENCED TO NORTH AMERICA SMART NET RTCM-2239, DATABASE STATION: DARROW, LA, GEOID 12A. THE HORIZONTAL POSITIONS AND GRID BEARINGS ARE REFERENCED TO THE NAD 83 AND ARE GIVEN IN VALUES CORRESPONDING TO THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE.
18. ALL LOTS SHOWN HEREON ARE SUBJECT TO THE CODES, COVENANTS, & RESTRICTIONS FOR THE SUBDIVISION FILED AS AN ADJUNCT TO THIS MAP AND MADE APART HEREOF.

19. WHERE FOUND, PHYSICAL ABOVE GROUND EVIDENCE OF UTILITIES HAVE BEEN SHOWN HEREON. THE LOCATION OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES, HOWEVER, HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE CONTROLLING AGENCIES AND / OR EXTRACTED FROM RECORDS MADE AVAILABLE BY THE CONTROLLING AGENCIES. THE ACTUAL LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES MAY VARY FROM THOSE SHOWN ON THIS SURVEY. ANY REQUEST FOR UTILITY LOCATIONS SHOULD BE MADE THROUGH LOUISIANA ONE CALL, CONTACT LOUISIANA ONE CALL AT 1-800-272-3020 BEFORE DIGGING.
20. DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS A PART OF THIS SURVEY.
21. NO ATTEMPT HAS BEEN MADE BY MR. ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE OWNER OR THE OWNERS REPRESENTATIVE.
22. THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY.
23. NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAS BEEN APPROVED BY THE LOCAL HEALTH AUTHORITY.
24. ANY NEW DRAINAGE DITCH REQUIRED BY THE SUBDIVISION OF THIS PROPERTY FOR THE PURPOSE OF TRANSPORTING RUNOFF OR SEWAGE TREATMENT PLANT EFFLUENT TO AN EXISTING PARISH MAINTAINED DITCH SHALL BE CONSTRUCTED AND MAINTAINED BY THE PROPERTY OWNERS.
25. SOURCE OF WATER SUPPLY SHALL BE APPROVED BY THE ASCENSION PARISH HEALTH UNIT.
26. ALL STRUCTURES SHALL BE CONSTRUCTED A MINIMUM OF ONE FOOT ABOVE FEMA BFE AND TOP ELEVATION OF NEAREST ADJACENT SANITARY SEWER MANHOLE ON THE SEWER COLLECTION SYSTEM SERVING THE PROPOSED STRUCTURE.
27. ONE CLASS "A" TREE MUST BE PLANTED PRIOR TO C.O. BEING ISSUED FOR EACH LOT.
28. SIDEWALK MUST BE CONSTRUCTED PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED FOR EACH LOT.
29. THE SEWER SYSTEM, INCLUDING BUT NOT LIMITED TO, ALL TREATMENT SYSTEM(S), PUMP(S), LIFT STATION(S), COLLECTION LINES TO THE SYSTEM, BOTH ONSITE AND OFFSITE, AND THE USER OF SAID IMPROVEMENTS ARE HEREBY DEDICATED TO THE PARISH OF ASCENSION.

**REFERENCE BEARING: \*S89°59'43"E**  
NORTH PROPERTY LINE OF THE PARENT TRACT

**REFERENCE BENCHMARK:**  
NORTH AMERICA SMART NET RTCM-2239  
DATABASE STATION: DARROW, LA, GEOID 12A.

**REFERENCE MAPS:**  
1. MAP SHOWING THE RESUBDIVISION OF LOT 6-A-2, OF THE PETER & AMELIA SEVARIO ESTATES CREATING LOTS 6-A-2-1, 6-A-2-2, 6-A-2-3, 6-A-2-4 & 6-A-2-5 LOCATED IN SECTION 4, T-9-S, R-3-E, S.E.L.D., PARISH OF ASCENSION, LOUISIANA FOR R.W. CONSTRUCTION, DATED 9-17-97 BY R.L. BENNET & ASSOC. DATED SEPT. 24, 1997 INSTRUMENT NO. 398996  
2. FINAL PLAT SHOWING LOT 6-A-1, BEING A PORTION OF 6-A AS SHOWN WITH LOT 6-A BEING SHOWN ON A SURVEY FOR J.A. BROUSSARD, CLAUDE W. WALL & BENJAMIN F. DELAUNE BY TOXIE CRAFT, DATED JUNE 16, 1975. INSTRUMENT NO. 270069  
3. MAP SHOWING BOUNDARY SURVEY OF LOT 6-A-1 BY MR. ENGINEERING & SURVEYING, LLC. DATED 10-30-2015

**PUBLIC DEDICATION:**

THE RIGHTS-OF-WAY OF STREETS SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC. ALL AREAS SHOWN AS SERVITUDES ARE GRANTED TO THE PUBLIC FOR THE USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL, AND OTHER PROPER PURPOSES FOR THE GENERAL USE OF THE PUBLIC. NO BUILDING, STRUCTURE, OR FENCE SHALL BE CONSTRUCTED, NOR SHRUBBERY PLANTED, WITHIN THE LIMITS OF ANY SERVITUDE SO AS TO UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH SERVITUDE WAS GRANTED.

**PRIVATE DEDICATION:**

THE COMMON AREAS "CA-1", "CA-2", "CA-3", & "P-1" SHOWN HEREON ARE DEDICATED FOR THE EXCLUSIVE USE AND ENJOYMENT OF THE RESIDENTS OF HIDDEN COVE. ALL MAINTENANCE SHALL BE BY THE HIDDEN COVE ASSOCIATION. DPW SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR UPKEEP OF THE LAKES, SHORELINE, OR ANY OTHER COMMON AREAS.

**TRAFFIC IMPACT FEE NOTE:**

ALL SINGLE FAMILY RESIDENCES ARE REQUIRED TO PAY A TRANSPORTATION IMPACT FEE IN ACCORDANCE WITH THE ESTABLISHED ASCENSION PARISH ORDINANCES.

**SEWER IMPACT FEE NOTE:**

SEWER DEVELOPMENT FEE HAS BEEN PAID BY THE DEVELOPER.

Parcel Line Table		
Line #	Direction	Length
L1	S89°58'12"E	45.52'
L2	N78°44'40"E	59.28'
L3	S89°58'12"E	44.81'
L4	N78°44'40"E	59.28'
L6	S44°56'53"E	95.50'
L7	S44°57'00"E	95.50'
L8	S45°00'28"W	95.50'
L9	S45°00'35"W	95.50'
L10	N00°46'53"W	27.46'
L11	N44°57'58"W	19.09'
L12	N00°01'48"E	12.98'
L13	S00°01'48"W	96.23'

Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
C1	17.43	88.50	11.29	N84°23'14"E
C2	21.96	111.50	11.29	S84°23'14"W
C3	27.28	138.50	11.29	N84°23'14"E
C4	12.11	61.50	11.29	S84°23'14"W
C5	58.93	75.00	45.02	N67°27'34"W
C6	98.22	125.00	45.02	N67°27'34"W
C7	39.29	50.00	45.02	S67°27'33"E
C8	78.58	100.00	45.02	S67°27'33"E
C9	78.58	100.00	45.02	N67°31'08"E
C10	39.29	50.00	45.02	N67°31'08"E
C11	98.22	125.00	45.02	S67°31'09"W
C12	58.93	75.00	45.02	S67°31'10"W
C13	3.18	125.00	1.46	S45°44'16"W

**ZONING:**  
ZONING FOR PROPERTY: RM  
TYPICAL SETBACKS:  
FRONT: 20' FT.  
SIDE: 6'7" FT. (10% OF FRONTAGE)  
SIDE ST. 12.5' FT.  
REAR: 20' FT.  
LOTS 33, 34 & 35 HAVE PARTICULAR SIDE SETBACKS  
LOT 34 SIDE: 6'  
LOT 35 SIDE: 7'

**OWNER:**

CORBIN LADNER, MEMBER  
HIDDEN COVE, LLC  
DATE 11/10/16

**APPROVED:**

ASCENSION PARISH PLANNING COMMISSION  
DATE 11/17/16  
FILE NUMBER PC-5932

**CERTIFICATION:**

I HEREBY CERTIFY THAT THE PLAT SHOWN WAS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051, ET. SEQ., AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND AND TO THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS "C" SURVEY AS ESTABLISHED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

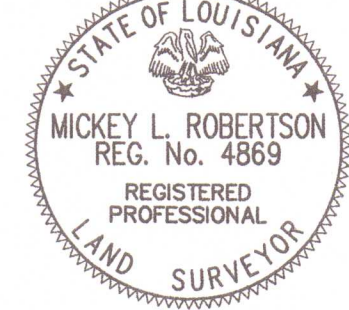
Mickey L. Robertson  
MICKEY L. ROBERTSON, P.E., P.L.S.  
MR. ENGINEERING & SURVEYING, LLC

11-10-16  
DATE

**FINAL PLAT**  
OF  
**HIDDEN COVE**  
LOTS 1 THRU 35 (INCLUSIVE),  
TRACTS CA-1 THRU CA-3, TRACT STP  
AND TRACT P-1

FORMERLY BEING  
**LOT 6-A-1 OF THE PETER & AMELIA SEVARIO ESTATES**  
LOCATED IN

SECTION 4 T9S-R3E,  
SOUTHEAST LAND DISTRICT,  
ASCENSION PARISH  
STATE OF LOUISIANA,  
FOR  
HIDDEN COVE, LLC



**MR. ENGINEERING & SURVEYING, LLC**  
9345 Interline Avenue, Baton Rouge, LA 70809 225.490.9592

CAD ORIGINAL DO NOT MODIFY THIS DRAWING ALL REVISIONS MUST BE MADE TO THE CAD FILE ONLY	SCALE: 1"=100'	DRAWN: MAX
	DATE: 11/10/2016	CHECKED: MLR