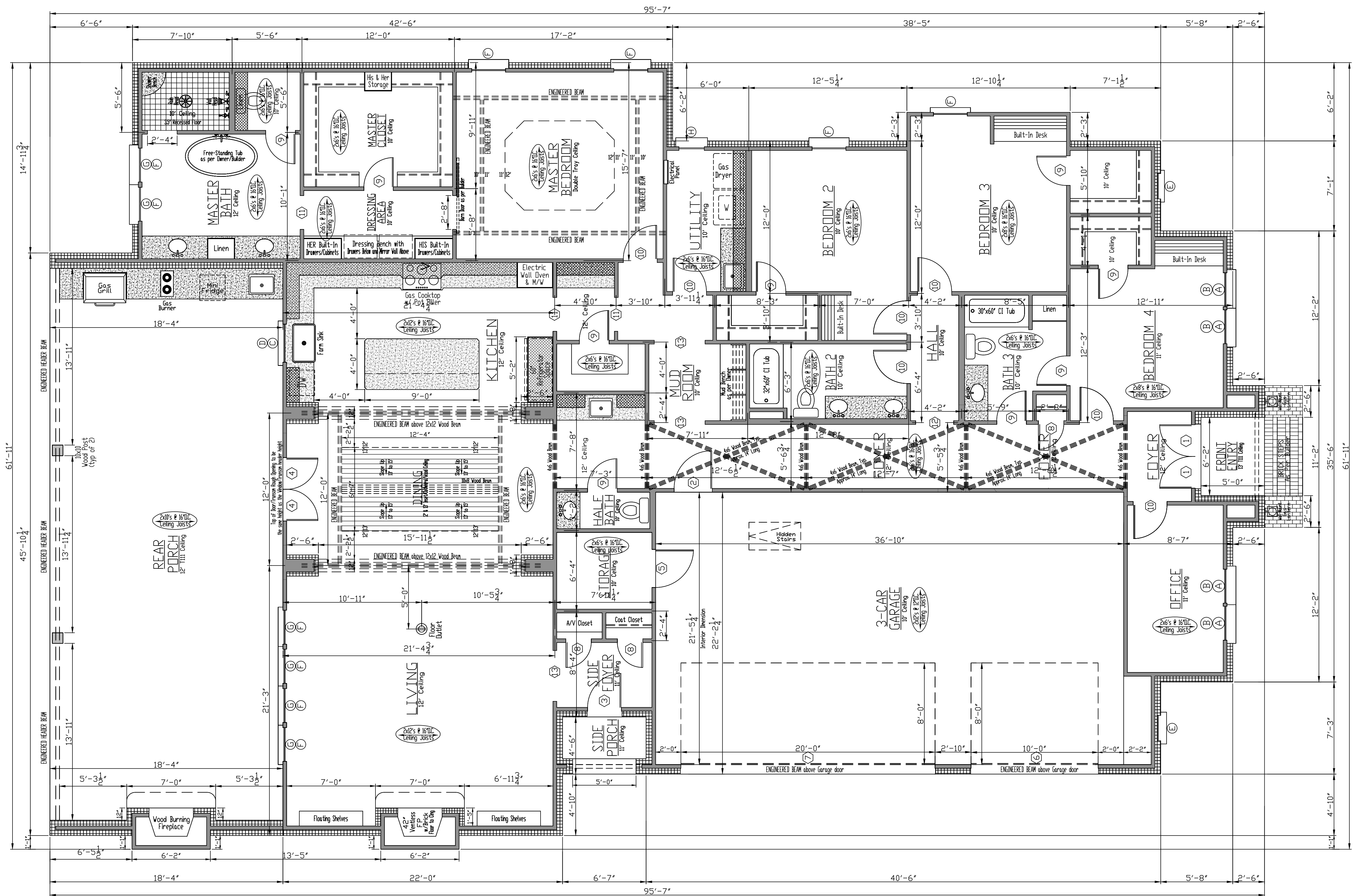


OPENING SCHEDULE			
DOORS		WINDOWS	
MARK	SIZE	DESCRIPTION	MARK
(1)	2'-6" x 8'-4" 1 3/4"	WOOD/GLASS DOOR, 8 LITE, 1 PANEL W/ 4 LITE TAMPON	(A)
(2)	3'-0" x 8'-0" 1 3/4"	EXT. S.C. WOOD, RAISED PANEL	(B)
(3)	2'-8" x 8'-0" 1 3/4"	EXT. S.C. WOOD, RAISED PANEL	(C)
(4)	2'-6" x 8'-0" 1 3/4"	EXT. S.C. WOOD, RAISED PANEL	(D)
(5)	3'-0" x 8'-0" 1 3/4"	EXT. S.C. WOOD, RAISED PANEL	(E)
(6)	10'-0" x 8'-0" 1 3/4"	EXT. S.C. WOOD, RAISED PANEL	(F)
(7)	2'-0" x 8'-0" 1 3/4"	INT., H.C., RAISED PANEL	(G)
(8)	2'-0" x 8'-0" 1 3/4"	INT., H.C., RAISED PANEL	(H)
(9)	2'-4" x 8'-0" 1 3/4"	INT., H.C., RAISED PANEL	(I)
(10)	2'-8" x 8'-0" 1 3/4"	INT., H.C., RAISED PANEL	(J)
(11)	3'-0" x 8'-0" 1 3/4"	INT., H.C., RAISED PANEL	(K)
(12)	3'-0" x 8'-0" 1 3/4"	INT., H.C., RAISED PANEL	(L)
(13)	4'-0" x 8'-0" 1 3/4"	INT., H.C., RAISED PANEL	(M)

**WINDOW AND DOOR NOTES:**  
 All windows, other than existing doors, shall have and transoms facing the street or driveway shall utilize Insulated SWI. doors.  
 THE DOOR & WINDOW PROFILES SHALL IDENTIFY ALL DOORS & WINDOWS REQUIRING TAMPONED GLASS AS PER 2015 IBC, CODE.



- DESIGN & CONSTRUCTION NOTES:**
- SEE DETAIL SHEET AND BRACED WALL PLAN FOR APPROVED, STAMPED CONSTRUCTION DETAILS FOR THIS PLAN.
  - ROOF/RAPTER BRACING MUST BEAR ON EITHER LOAD-BEARING WALLS OR ENGINEERED BEAMS DESIGNED TO CARRY THOSE LOADS. PROVIDE MIN. OF 3 STUDS WHERE A BEAM IS SUPPORTED BY A WALL.
  - GARAGE-DWELLING WALL SEPARATION MUST MEET MATERIAL REQUIREMENTS AS PER IRC2015 TABLE R302.6 : DWELLING-GARAGE SEPARATION.
  - THE LUMBER YARD / ENGINEERED BEAM SUPPLIER SHALL PROVIDE DOCUMENTATION FOR ENGINEERED BEAM DESIGN CRITERIA AND CERTIFICATION BY ARCHITECT / ENGINEER.

**SPECIAL NOTE:**  
 1. HOME DESIGNS OF BATON ROUGE HAS MADE EVERY EFFORT TO INSURE THE ACCURACY OF THIS PLAN. HOWEVER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER TO VERIFY THE DIMENSIONAL CORRECTNESS, STRUCTURAL INTEGRITY AND CODE COMPLIANCE ASPECTS OF THIS PLAN PRIOR TO CONSTRUCTION. ANY LIABILITIES DUE TO ERRORS OR OMISSIONS ON THIS PLAN ARE TO BE ASSUMED BY THE CONTRACTOR/OWNER.

- GENERAL NOTES:**
- THIS HOME DESIGN IS THE PROPERTY OF HOME DESIGNS OF BATON ROUGE. ANY REUSE OR REPRODUCTION OF THIS PLAN IS PROHIBITED.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS PRIOR TO CONSTRUCTION.
  - FIREPLACE SIZE AND DESIGN SHALL BE BY CONTRACTOR AT TIME OF CONSTRUCTION.
  - ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS OTHERWISE NOTED.
  - SEE SHEET 0 (TOP SHEET) FOR PLOT PLAN.
  - SEE SHEET 1 FOR FLOOR PLAN, OPENING SCHEDULE AND NOTES.
  - SEE SHEET 2 FOR FRONT, REAR AND LEFT SIDE ELEVATIONS.
  - SEE SHEET 3 FOR ROOF CUT PLAN AND RIGHT SIDE ELEVATION.
  - SEE SHEET 4 FOR FOUNDATION PLAN.
  - SEE SHEET 5 FOR ELECTRICAL PLAN.
  - SEE SHEET 6 FOR HVAC PLAN.
  - SEE SHEET 7 FOR PLUMBING/SEWER PLAN.
  - SEE SHEET 8 FOR BRACED-WALL FRAMING PLAN.
  - SEE SHEET 9 FOR TYPICAL CONSTRUCTION DETAILS.
  - SEE ATTACHMENT FOR RES-CHECK.

Construction By:  
**CORBIN LADNER CUSTOM HOMES**  
 Subdivision: Stoney Point Estates  
 Lot: 106  
 City/Parish: Ascension

**SQUARE FOOTAGES**

LIVING AREA	3222
NON-LIVING AREA	1805
TOTAL AREA	5027

ANOTHER DESIGN BY  
**HOMES OF BATON ROUGE LLC**  
 10115 N. PARKER, OWENS  
 BATON ROUGE, LA  
 (225) 252-2057  
 3707 ZION  
 70720  
 Sheet 1

**FLOOR PLAN**  
 Scale: 1/4"=1'-0"